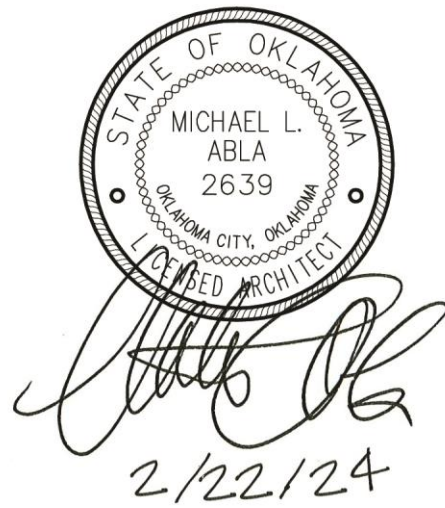


**MOORE PUBLIC SCHOOLS -  
SANTA FE ELEMENTARY  
2024 MILLWORK REPLACEMENT**

Moore Public Schools - Moore, Oklahoma  
AGP - Moore, Oklahoma

-----  
**ADDENDUM NO. 1**

February 22, 2024  
-----



This addendum applicable to work designated herein, shall be understood to be an Addendum, and as such shall be included in the Contract Agreement.

Receipt of this Addendum shall be acknowledged by the Construction Management Firm notifying this office in writing, and by any applicable subcontractor to the CM.

This addendum consists of two (2) pages with attachments of nine (9) 8.5"x11" pages and two (2) 24"x36" sheets.

---

A. Drawings:

Civil and Structural

No changes.

Architectural

1. Sheet A106, Detail 1, Building 500 Demolition Floor Plan: added the demolition of existing flooring and wall base as indicated at Room #503. Refer to attachment.
2. Sheet A401, Sink Note: revised sink count and model number.
3. Sheet A401, Detail 10, Color Schedule: hollow metal frames and hollow metal doors paint color to be equal to Sherwin-Williams, SW7055, Enduring Bronze. Paint both / all sides of affected items regardless if millwork/wall painting/floor replacement, etc. is occurring on both sides. Field verify / coordinate with Architect.

Mechanical, Electrical, and Plumbing

1. Refer to Architectural for corrected sink count, etc.

B. Specifications:

1. Cover and Title Pages: replace with attachments with correct address information.
2. Special Conditions: add section in its entirety.

END OF ADDENDUM NO. 1

**MOORE PUBLIC SCHOOLS  
SANTA FE ELEMENTARY SCHOOL  
2024 MILLWORK REPLACEMENT**

**INDEPENDENT DISTRICT NO. 2  
CLEVELAND COUNTY, MOORE, OKLAHOMA**

**12801 SOUTH SANTA FE  
OKLAHOMA CITY, OKLAHOMA 73170**

**PROJECT MANUAL**  
FEBRUARY 2024 (ADDENDUM NO. 1)

**AGP** | the Abla Griffin  
Partnership



**PROJECT MANUAL**  
JANUARY 2024 (ADDENDUM NO. 1)

**MOORE PUBLIC SCHOOLS  
SANTA FE ELEMENTARY SCHOOL  
2024 MILLWORK REPLACEMENT**

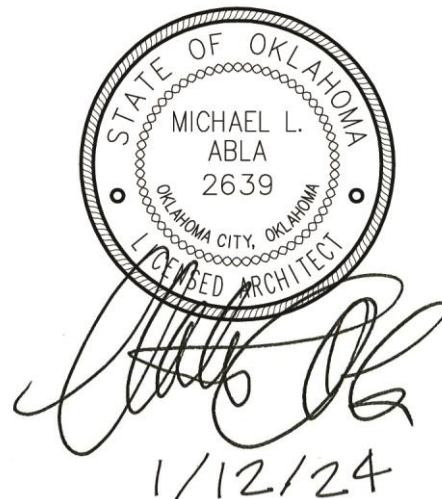
**INDEPENDENT DISTRICT NO. 2  
CLEVELAND COUNTY, MOORE, OKLAHOMA**

**12801 SOUTH SANTA FE  
MOORE, OKLAHOMA 73170**

**ARCHITECT:**

**AGP** | the Abla Griffin  
Partnership

the Abla Griffin Partnership LLC  
201 North Broadway, Suite 210  
Moore, Oklahoma 73160  
t: 405.735.3477  
AGP@theAGP.net



1/12/24

## SPECIAL CONDITIONS

### TIME FOR COMPLETION AND LIQUIDATED DAMAGES:

- A. Upon execution of the contract agreement between the Owner and the Contractor, it shall become an obligation of the contractor to complete all work to be performed under this agreement for the 2024 Millwork Replacement project at Santa Fe Elementary School located at 12801 South Santa Fe, Moore, OK 73170 - **within 180 Calendar Days.**
- B. Penalty for noncompliance by the above date shall be cessation of all further periodical payments until the work is completed, and can be fully used for the purpose intended.

### PAYMENTS:

- A. The Owner's payment schedule indicating the payment dates established by Moore Public Schools shall be provided to the contractor to establish a monthly payment schedule.
- B. **Certificates of payment shall be submitted to the Architect on or before 7 days prior to Owner's cut-off date.**
- C. Until the Work is 50 percent complete, the Owner will pay 95 percent of the amount due the Contractor on account of progress payments. At the time the Work is 50 percent complete, any **remaining** partial payments shall be paid at 97.5 percent of amount due. The retainage shall be retained until the project is completed.

### INSURANCE AND BONDS:

- A. Insurance provided shall be with a company or companies licensed to do business in the state of Oklahoma.
- B. Policies shall be provided in the following types and amounts:
  - 1. a. Workmen's Compensation-Statutory
  - b. Employer's Liability-\$500,000 each accident.
  - 2. Comprehensive General Liability:
    - a. Bodily Injury - \$1,000,000 each occurrence.
    - b. Personal Injury - \$1,000,000
    - c. Property Damage - \$1,000,000 each occurrence

3. Automobile Liability:
    - a. Bodily Injury - \$500,000 each person/\$1,000.000 each occurrence
    - b. Such Comprehensive Automobile Liability Insurance shall include all owned and non-owned hired motor vehicles.
  4. Owners Protective Liability - Same limits as above.
  5. Products and Completed Operations - Same limits as above.
  6. Contractual Liability - Same limits as above.
- C. Furnish one copy of Certificates herein required for each copy of the Agreement; specifically set forth evidence of all coverage required by Subparagraphs 11.1 and 11.2. Furnish to the Owner copies of any endorsements that are subsequently issued amending coverage or limits.
- D. **The Contractor shall provide property insurance in the amount of the initial contract sum as well as subsequent modifications thereto for the entire Work at the site on a replacement cost basis without voluntary deductibles. This insurance coverage shall be the "all-risk" form for completed value.**

**TEMPORARY SERVICES:**

- A. Sanitary Facilities: The Contractor shall provide and maintain necessary sanitary conveniences for the use of those employed on/or about the work. The sanitary facilities shall be properly secluded from public observation and shall be such locations as shall be approved by the Owner, and their use shall be strictly enforced.

**SHOP DRAWINGS and SUBMITTALS:**

- A. Unless otherwise specified, the shop drawings and product data shall be submitted **electronically**. Physical samples of materials shall be submitted to the Architect as required.
- B. Construction Manager is responsible for obtaining and distributing required prints of shop drawings to his

subcontractors and material suppliers after as well as before final approval.

- C. Shop drawings and samples shall be dated and marked to show the names of the Project, Architect, CM, originating Sub-Contractor, manufacturer or supplier, and separate detailer if pertinent. Shop drawings shall completely identify Specifications section and locations at which materials or equipment are to be installed. Reproduction of Contract Drawings are acceptable as Shop Drawings only when specifically authorized in writing by the Architect.
- D. If materials or specified items other than those specified in these Contract Documents are supplied - and approved by the Architect - it shall be the Construction Manager's responsibility to provide ALL additional materials, accessories, substrates, utility connection, etc. for a complete and operational installation at NO additional cost to the Owner.

**CHANGES IN THE WORK:**

- A. Cost shall be limited to the following: cost of materials, including sales tax and cost of delivery; cost of labor, including social security, old age and unemployment insurance, and fringe benefits under collective bargaining agreements; workmen's compensation insurance; bond premiums; and rental value of power tools and equipment. Overhead shall include the following; supervision, superintendence, wages of time keepers, watchmen and clerks, hand tools, incidentals, general office expense, and all other expenses not included in "cost".
- B. Change Order markups shall be limited to 10% overhead and 10% profit. No other markups shall be allowed.

**AS BUILT DRAWINGS:**

- A. Provide and maintain in proper order and in good, clean condition in the field office at the project site, one complete full-size set of all working drawings. On this set of drawing prints, in red ink, neatly and accurately inscribe any and all changes in the work.
- B. Upon completion of work, the Contractor shall furnish one set of

"as built" drawings. These drawings shall be contract drawings corrected in **red ink** to show any differences between contract drawings and actual construction. All changes made during construction shall be noted. Each drawing showing changes in dimensions, details, or containing supplemental information shall be plainly marked "**As Built**" and shall contain the signature of both the Architect and the Contractor.

**CLOSEOUT SUBMITTALS:**

Prepare project data in the form of an instructional manual supplied electronically on media as requested by Owner (CD or flash drive). The following information shall be included and arranged under a Table of Contents:

1. Directory listing names, addresses, and telephone numbers of the Architect/Engineer(s), Construction Manager, Subcontractors, and major material/equipment suppliers.
2. Operation and maintenance instructions, arranged by system and subdivided by specification section. For each category, identify names, addresses, and telephone numbers of Subcontractors and Suppliers. Include equipment, parts list for each, operating instructions, maintenance instructions for equipment, special finishes, etc.
3. Project documents and certificates, including shop drawings and product data, air and water balance reports, photocopies of warranties.
4. Record As-Built Drawings as described above.
5. Completed Non-Asbestos Affidavit.

**DEBRIS DISPOSAL:**

Waste disposal shall be the responsibility of the Contractor. The Contractor shall make arrangements with the local authorities having jurisdiction for accommodation of all waste disposal. If local facilities are not available the contractor shall be responsible for all other arrangements for waste disposal.

**SUPPLEMENTARY CONDITIONS AND SPECIAL CONDITIONS:**

In the following sections where the term "General Conditions" is used, it shall include the "Supplementary Conditions" and/or "Special Conditions" bound in this project manual.

**MISCELLANEOUS PROVISIONS:**

A. TESTS AND INSPECTIONS

Not applicable.



B. EQUAL OPPORTUNITY

The Contractor shall maintain policies of employment as follows:

The Contractor and all Subcontractors shall not discriminate against any employee or applicant for employment because of race, religion, color, sex, or national origin. The Contractor shall take affirmative action to insure that applicants are employed, and that employees are treated fairly during employment without regard to their race, religion, color, sex, or national origin. Such action shall include, but not be limited to the following: employment, upgrading, demotion, or transfer; recruitment advertising; layoff or termination; rates of pay or any other forms of compensation; and selection for training, including apprenticeship. The Contractor agrees to post in conspicuous places, available to employees and applicants for employment, notices setting forth the policies of non-discrimination.

C. COOPERATION WITH BUILDING OFFICIALS

Not applicable.

D. MEASUREMENTS

Before doing any work or ordering any materials, the Contractor shall verify all measurements of existing and new work, and shall be responsible for their correctness.

Any differences which may be found shall be submitted to the Architect for consideration before proceeding with the work. No extra compensation will be allowed because of differences between actual dimensions and measurements indicated on the working drawings.

E. CONFLICTS BETWEEN DRAWINGS AND SPECIFICATIONS

Conflicts between the drawings and specifications shall be brought to the immediate attention of the Architect. Failure to bid item(s) noted on the drawings and omitted from the specifications **does not** remove responsibility from the Construction Manager and applicable Subcontractor(s) to provide and install such with no additional cost to the Owner.

These Contract Documents - including but not limited to the Drawings, Project Manual, and any subsequent Addenda - are issued as a "whole" and shall be bid as such. Each discipline / subcontractor shall review the entire set of Contract Documents and include applicable work in their bid **regardless of location within the Contract Documents**. Reviewing only a portion of the

Contract Documents shall not absolve the construction manager or subcontractor of the requirement to perform the work of their respective disciplines and/or trade.

F. MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS

Install all manufactured items of materials or equipment in strict accordance with manufacturer's recommended specifications, except that the specifications herein, where more stringent, shall be complied with.

At the completion of the project and prior to final acceptance by the Owner, provide the Owner with three complete sets of operating and maintenance instructions, and demonstrate to him the procedures for proper operation and maintenance of all equipment.

G. JOB MAINTENANCE

During the course of their work, all crafts and trades shall protect all work which preceded theirs from damage, and they shall make repairs or replacements to any damage caused either directly or indirectly by them.

H. COMPLIANCE WITH STATE AND FEDERAL LAWS

Contractor assumes full responsibility for the payment of all contributions and payroll taxes (state and federal) as to all subcontractors and employees engaged in the performance of work pursuant hereto and further agrees to check and meet all requirements that might be specified under regulations of the administrative officials or board charged with the enforcement of any state or federal act on the subject referred to. CM agrees to furnish Owner, upon request, a certificate or other evidence of compliance therewith.

I. OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (OSHA)

The Construction Manager shall comply with the latest edition and revision of The Federal Occupational Safety and Health Act of 1970 for construction.

J. GUARANTY BONDS

1. Prior to the Owner signing the contract agreement, he will require the Contractor to furnish performance and payment bonds covering the faithful performance of the entire construction contract agreement. The performance bond and the payment bond shall each be made out in one hundred percent (100%) of the contract sum and shall be in a company or companies against

which the Owner has no reasonable objection.

2. Bonds shall be signed by an official of the bonding company, and shall be accompanied by the bonding agent's written power-of-attorney in order that one copy may be attached to each copy of the contract agreement.
3. The Construction Manager shall include in his proposal amount the total premiums for all required bonds.
4. Unless noted otherwise, the Construction Manager does hereby warrant and/or guarantee against defects in all workmanship and materials performed or furnished by him directly or by his subcontractors for a period of one (1) year from the date of completion, as evidenced by the date of the Final Certificate or final acceptance of the project. Said warranty and/or guarantee shall be in the form of a good and sufficient bond in a sum equal to one hundred percent (100%) of the contract price.

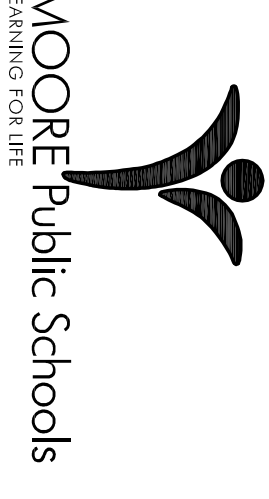
**End of Special Conditions**



CG  
designed by \_\_\_\_\_  
MA  
checked by \_\_\_\_\_  
JANUARY 2024  
0808

revisions  
1 ADDENDUM #1

MOORE PUBLIC SCHOOLS  
BOARD OF EDUCATION  
MOORE, OKLAHOMA



SANTA FE  
ELEMENTARY SCHOOL  
2024 MILLWORK  
REPLACEMENT

Sheet No.

## A106

OWNERSHIP USE OF DOCUMENTS:

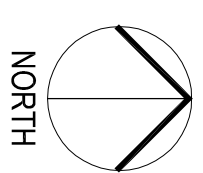
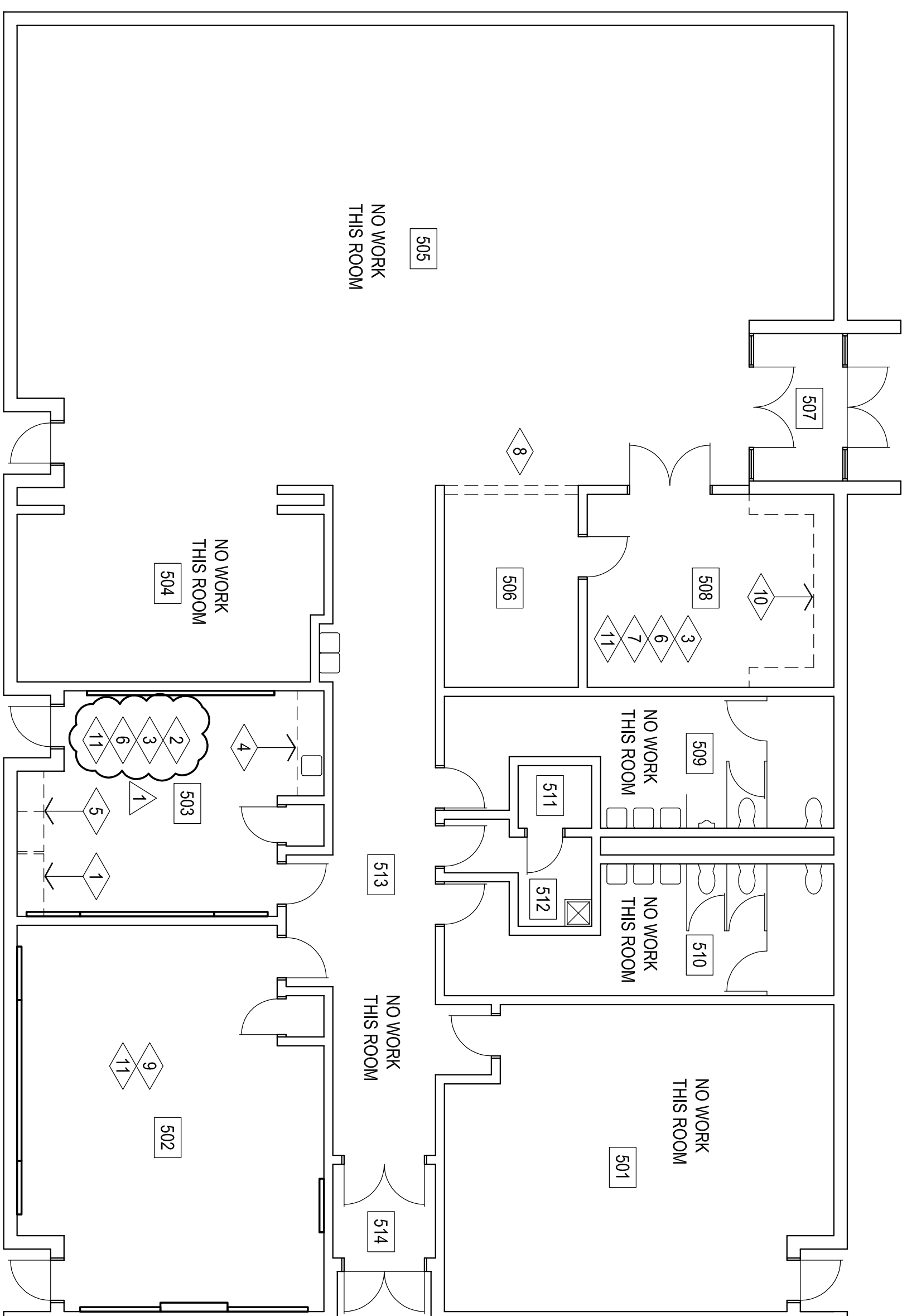
AGP EXPRESSLY RESERVES ITS  
COPYRIGHT AND OTHER PROPERTY  
RIGHTS OF ALL PLANS AND DRAWINGS  
DESIGNED AND/OR PRODUCED BY AGP.  
REPRODUCED IN ANY FORM OR MANNER  
WITHOUT THE EXPRESSED WRITTEN  
CONSENT OF AGP.

**GENERAL NOTE :**

- 1 REMOVE / DEMOLISH EXISTING BASE CABINETS COMPLETELY & PREPARE WALL / SLAB TO RECEIVE NEW BASE CABINETS
- 2 TEMPORARILY REMOVE EXISTING TACKBOARDS & STORE. REINSTALL @ SAME LOCATIONS AFTER INSTALLATION OF NEW BASE CABINETS & WARDROBE CABINETS / SHELVING UNITS. COORDINATE MOUNTING HEIGHTS PRIOR TO REINSTALL.
- 3 PREPARE WALLS TO RECEIVE NEW PAINT AT ENTIRE ROOM - PAINT COLOR TO BE SHERWIN-WILLIAMS - SW7008 - ALABASTER
- 4 REMOVE EXISTING SINK / FAUCET AND ASSOCIATED PIPING AS REQUIRED TO REMOVE / DEMOLISH EXISTING BASE CABINET COMPLETELY & PREPARE WALL / SLAB TO RECEIVE NEW BASE CABINETS W/ NEW SINK. PROVIDE ALL MATERIALS FOR COMPLETE INSTALLATION.
- 5 REMOVE / DEMOLISH EXISTING STORAGE CABINETS COMPLETELY & PREPARE WALL / SLAB TO RECEIVE NEW BASE CABINETS
- 6 REMOVE EXISTING CARPET TILES & WALL BASE AT ENTIRE ROOM INSTALL NEW CARPET AND BASE PROVIDED BY OWNER
- 7 REMOVE EXISTING SHELVES & STORE FOR REINSTALLATION.
- 8 PREPARE EXISTING WOOD TRIM AT CASSED OPENING TO RECEIVE NEW PAINT. - PAINT COLOR TO BE SHERWIN-WILLIAMS - SW7008 - ALABASTER
- 9 TEMPORARILY REMOVE EXISTING TACKBOARDS, MARKERBOARDS & SMARTBOARDS & STORE. REINSTALL @ SAME LOCATIONS. PREPARE WALLS TO RECEIVE NEW PAINT AT ENTIRE ROOM - PAINT COLOR TO BE SHERWIN-WILLIAMS - SW7008 - ALABASTER
- 10 REMOVE EXISTING WALL SHELVES. PREPARE WALLS TO RECEIVE NEW PAINT AT ENTIRE ROOM - PAINT COLOR TO BE SHERWIN-WILLIAMS - SW7008 - ALABASTER
- 11 PAINT EXISTING HOLLOW METAL DOORS AND FRAMES

**GENERAL DEMOLITION NOTES:**

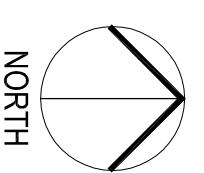
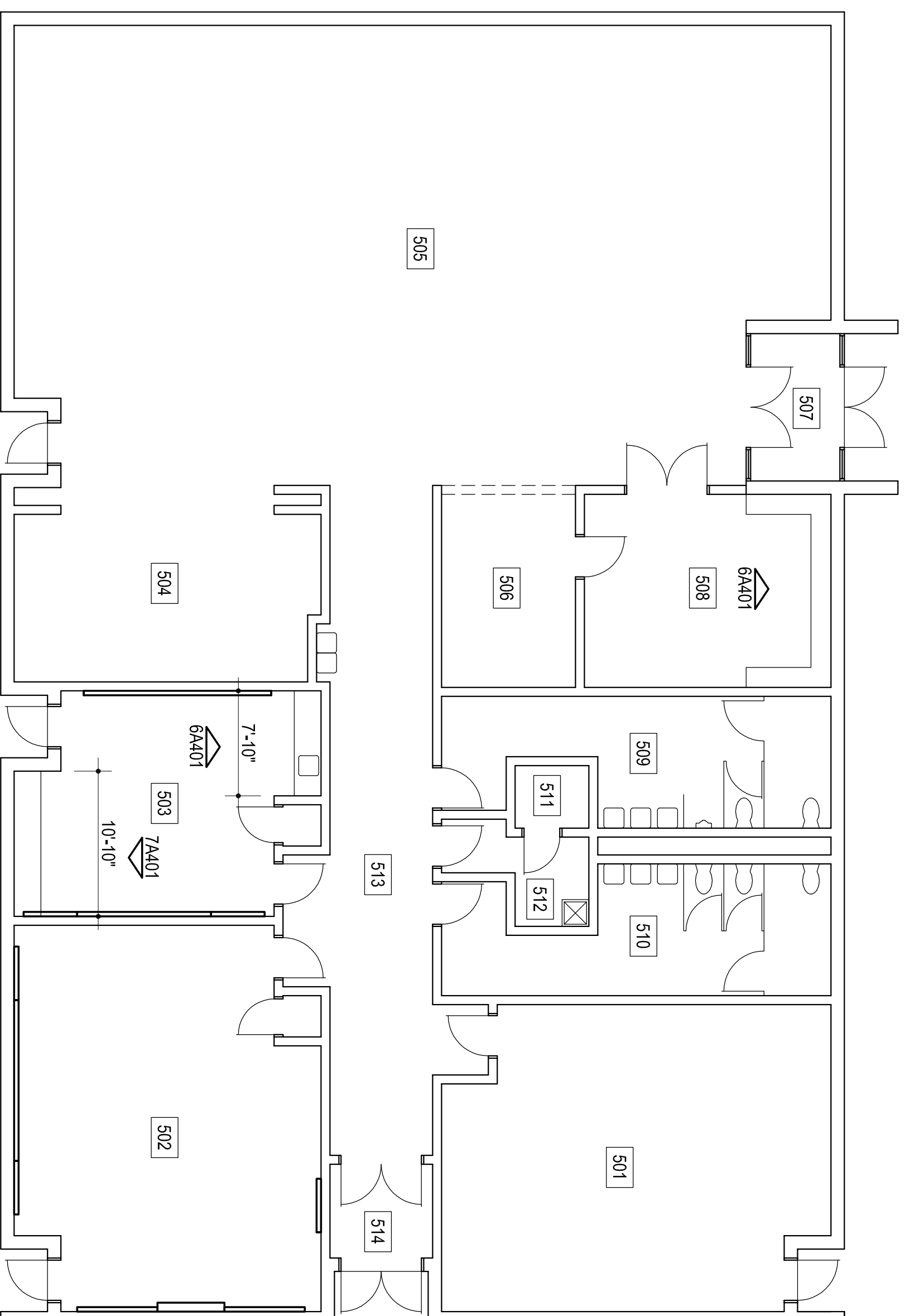
1. ALL SALVAGEABLE ITEMS TO REMAIN THE OWNERS PROPERTY & IS TO BE DISPOSED OF / STORED AS PER OWNERS INSTRUCTIONS.
2. CARE IS TO BE TAKEN TO PROTECT ALL EXISTING ITEMS TO REMAIN. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING / REPAIRING ALL EXISTING TO REMAIN ITEMS THAT ARE DAMAGED DURING CONSTRUCTION.
3. THE SUBCONTRACTORS ARE RESPONSIBLE FOR VISITING THE SITE PRIOR TO SUBMITTING A BID & OBTAINING ALL PERTINENT INFORMATION REQD. TO PREPARE AN ACCURATE BID. VERIFY ALL DEMOLITION & NEW WORK REQUIRED. ANY REQUIRED ADDITIONAL WORK NOT INDICATED ON THE CONTRACT DOCUMENTS MUST BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE GENERAL CONTRACTOR PRIOR TO BIDDING.
4. VERIFY CLEARANCES FOR THERMOSTATS, SWITCHES, CALL BUTTONS, ETC. COORDINATE W/ ARCHITECT



1

BUILDING 500 DEMOLITION FLOOR PLAN

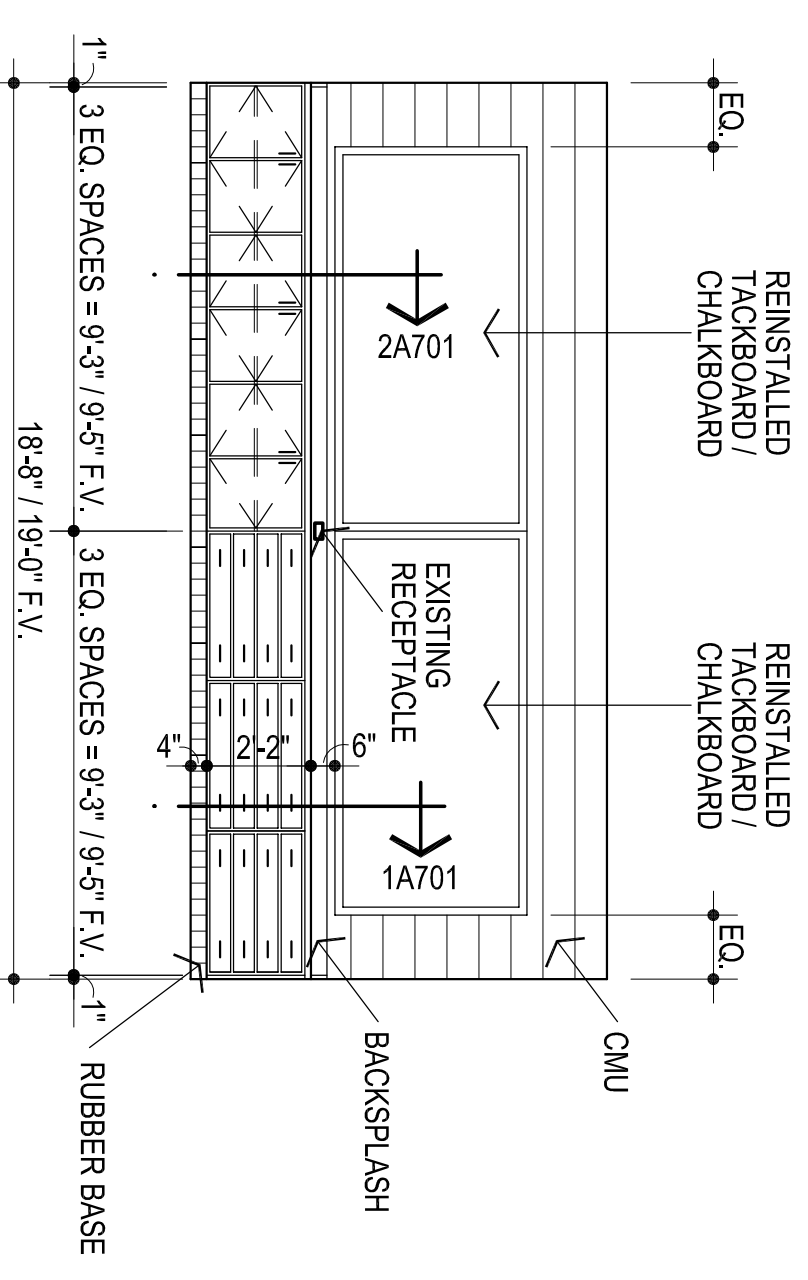
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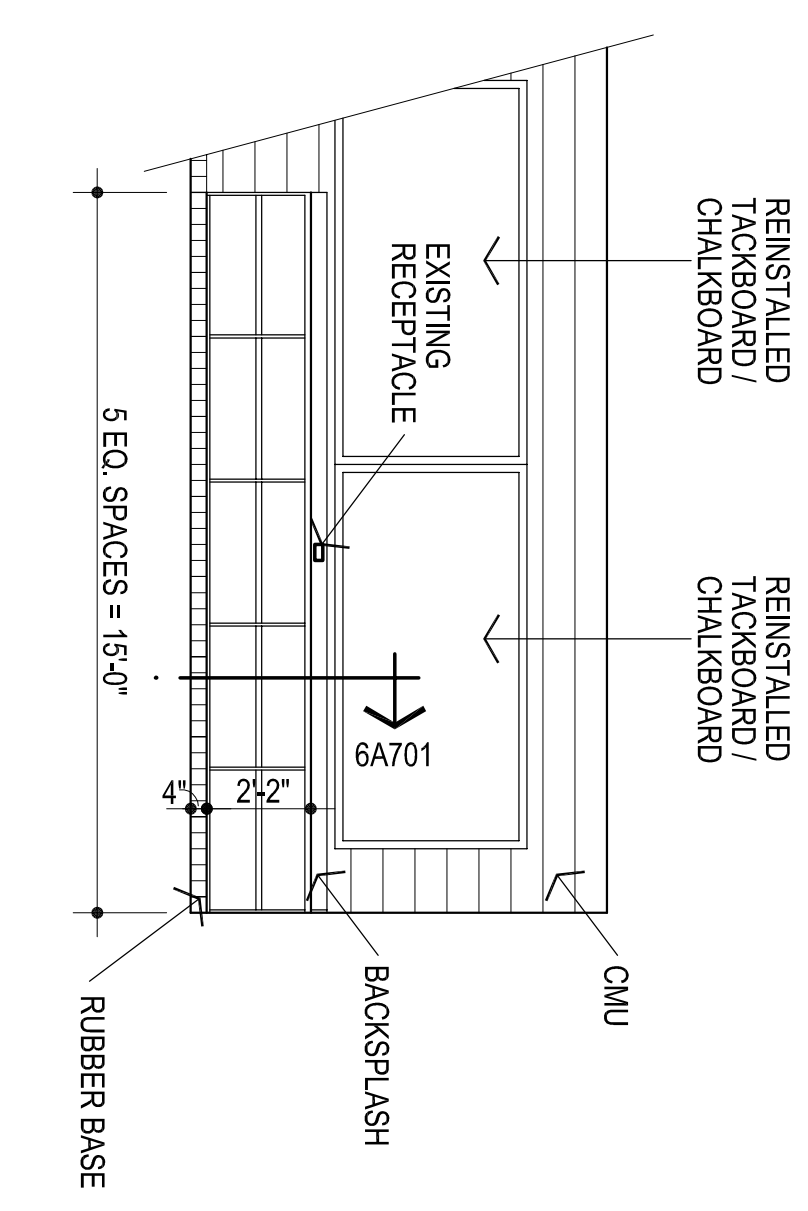
2

BUILDING 500 FLOOR PLAN

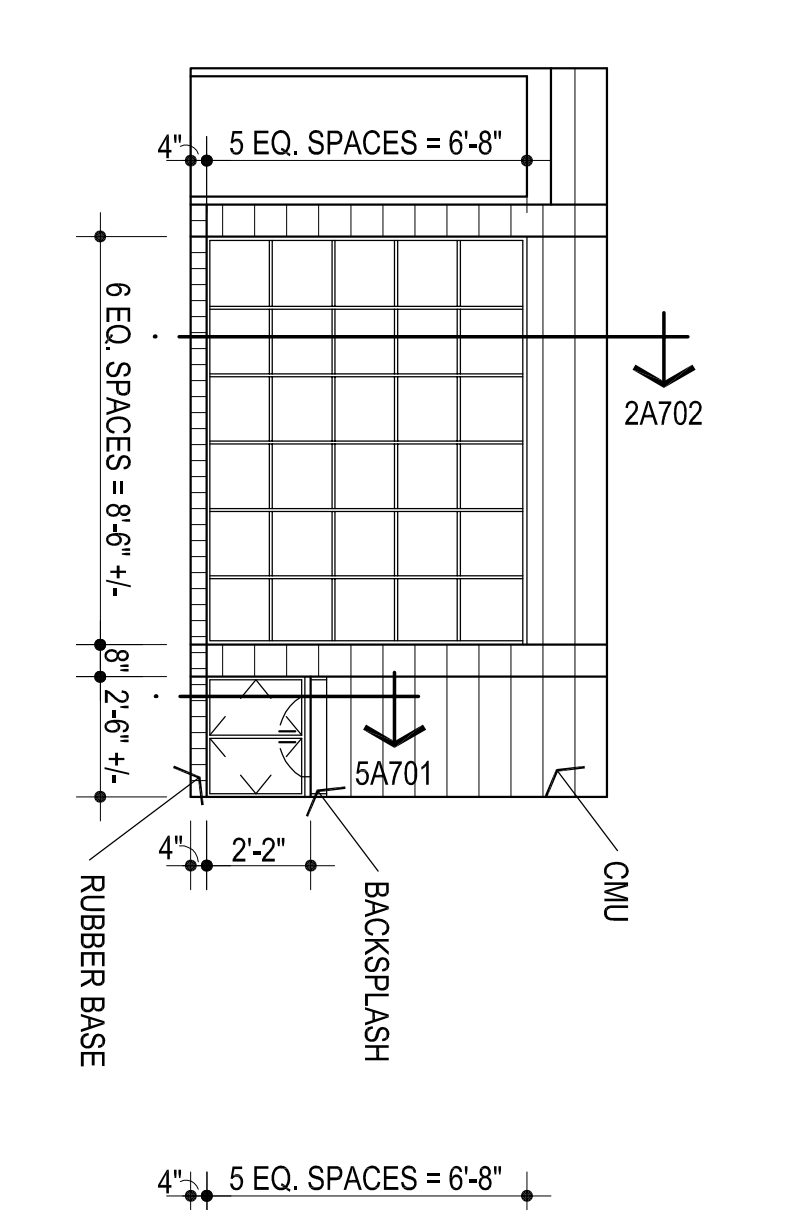
1/8" = 1'-0"



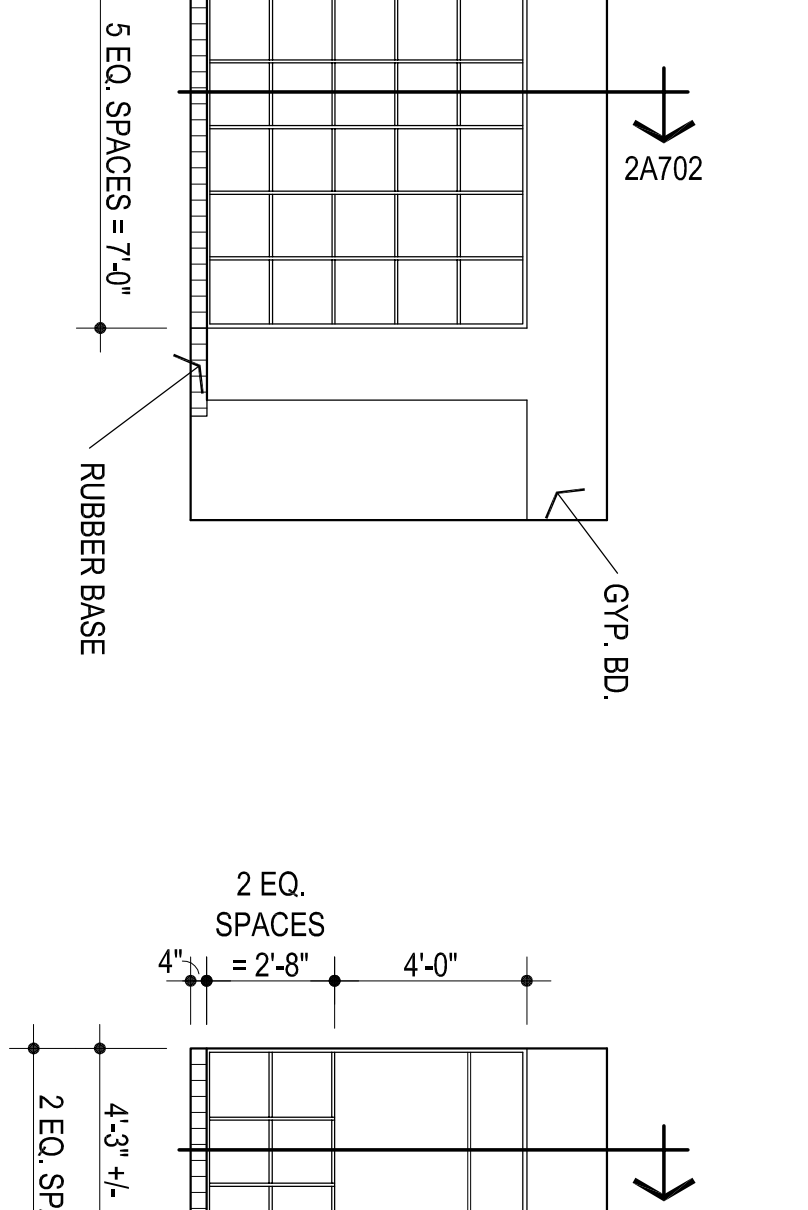
**1** ELEVATION @ TYP. CLASSROOM  
1/4" = 1'-0"



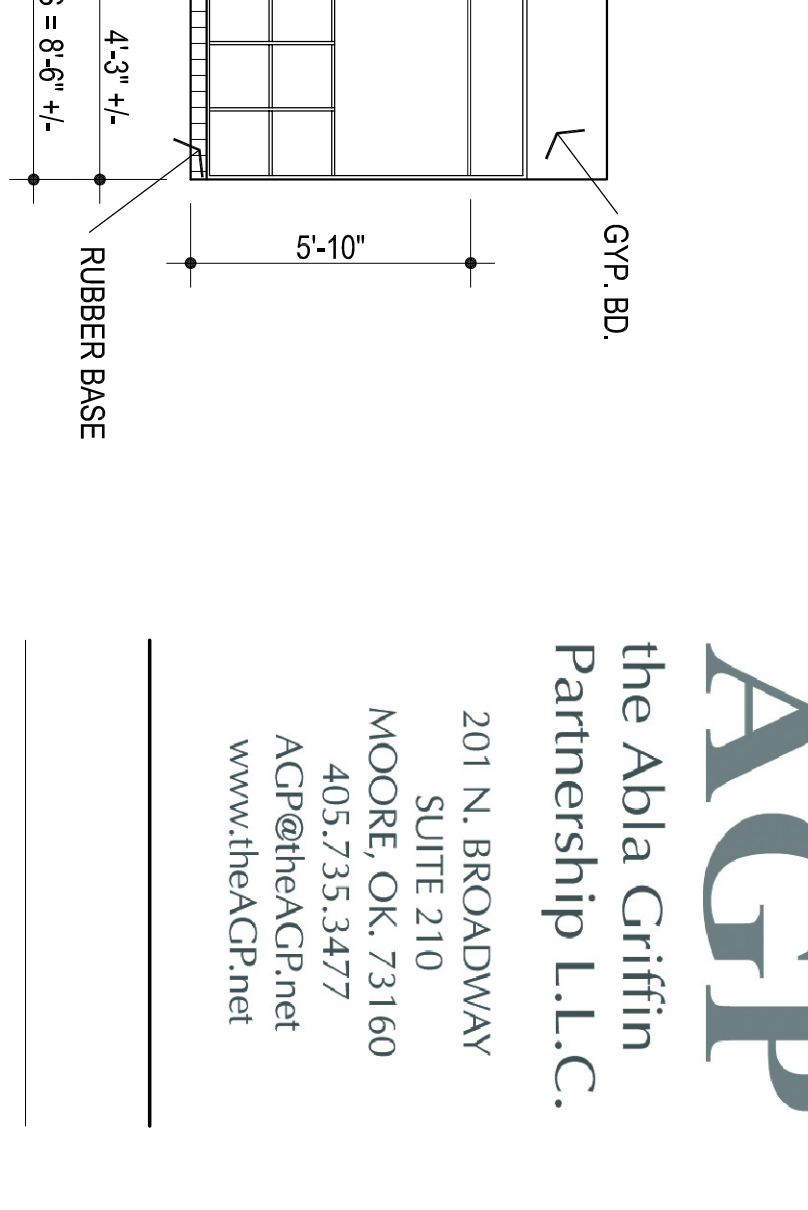
**2** ELEVATION @ TYP. CLASSROOM  
1/4" = 1'-0"



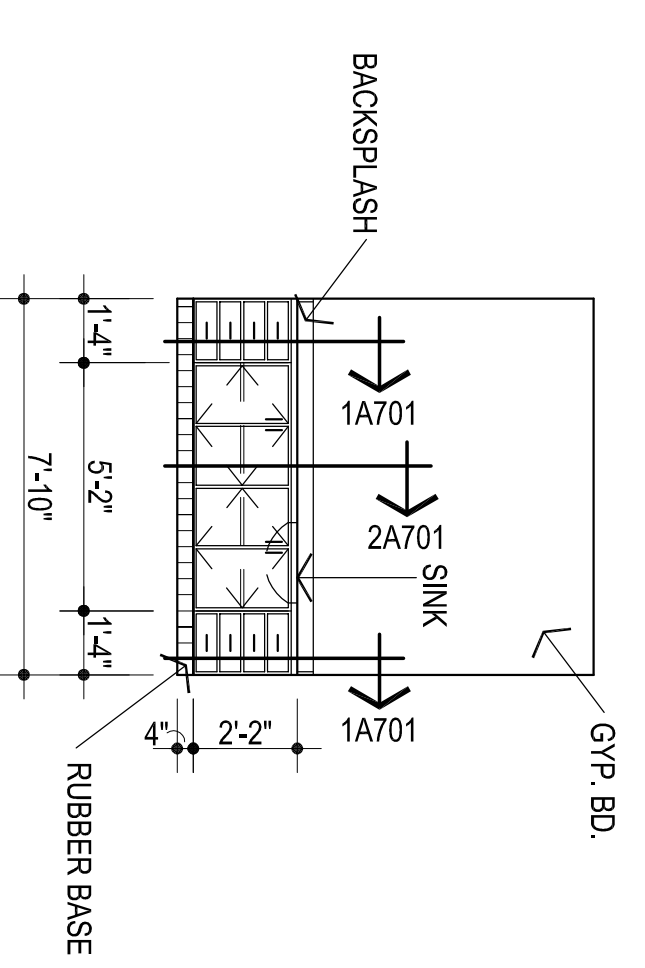
**3** ELEVATION @ TYP. CLASSROOM  
1/4" = 1'-0"



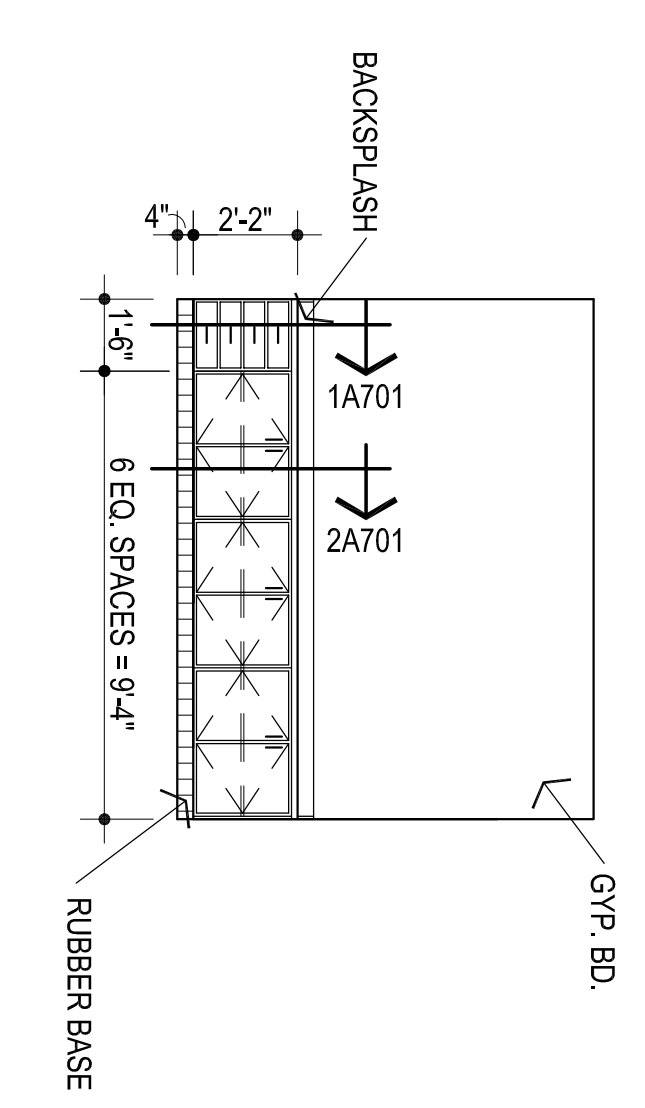
**4** E. WALL ROOM #113  
1/4" = 1'-0"



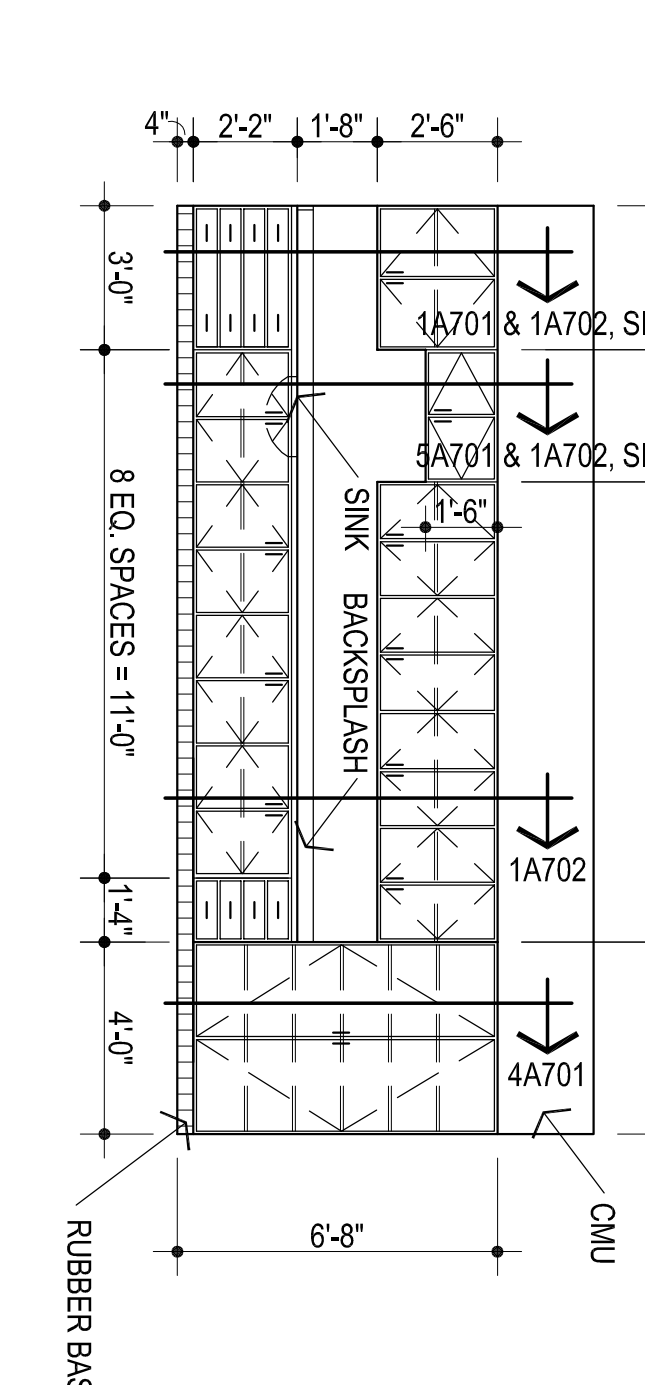
**5** S. WALL ROOM #113  
1/4" = 1'-0"



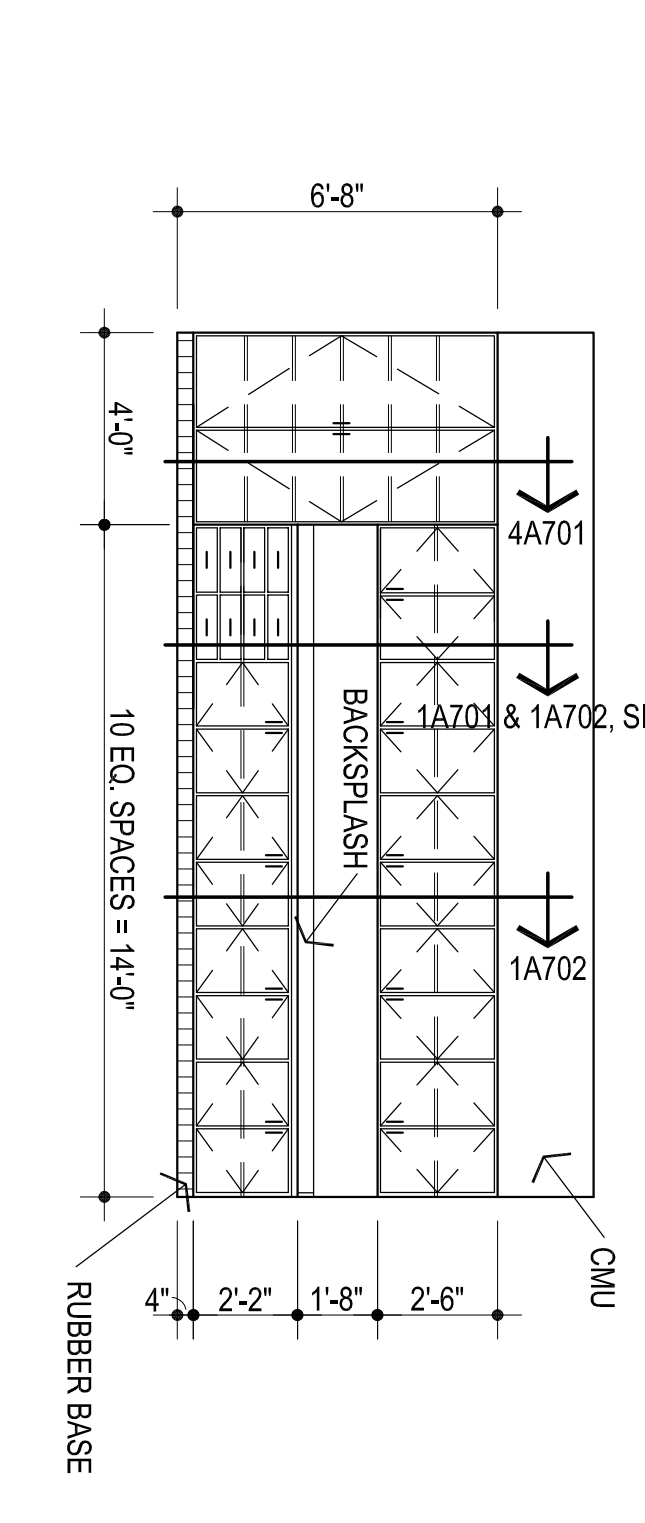
**6** N. WALL BUILDING 500 ROOM #503  
1/4" = 1'-0"



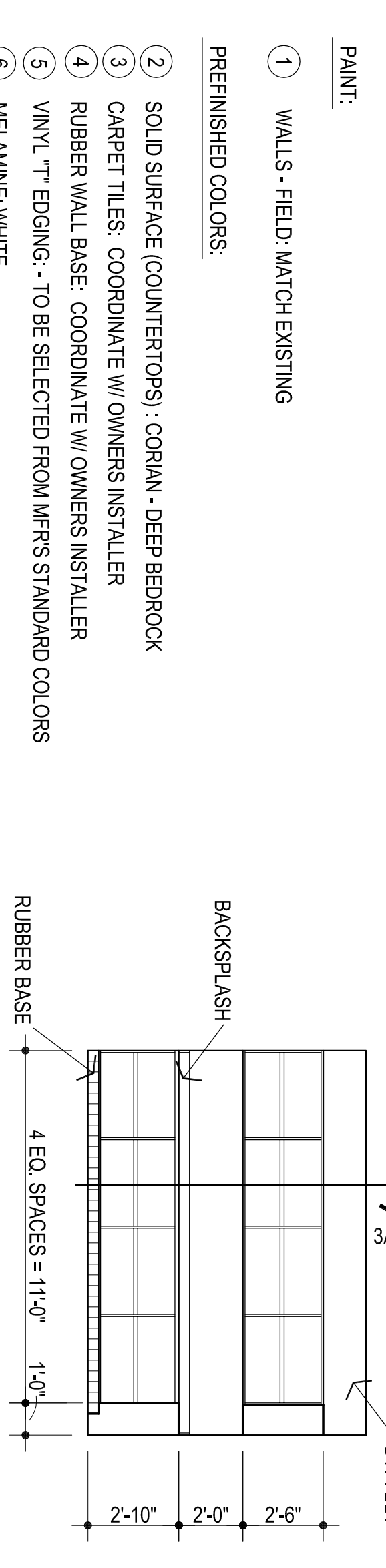
**7** S. WALL BUILDING 500 ROOM #503  
1/4" = 1'-0"



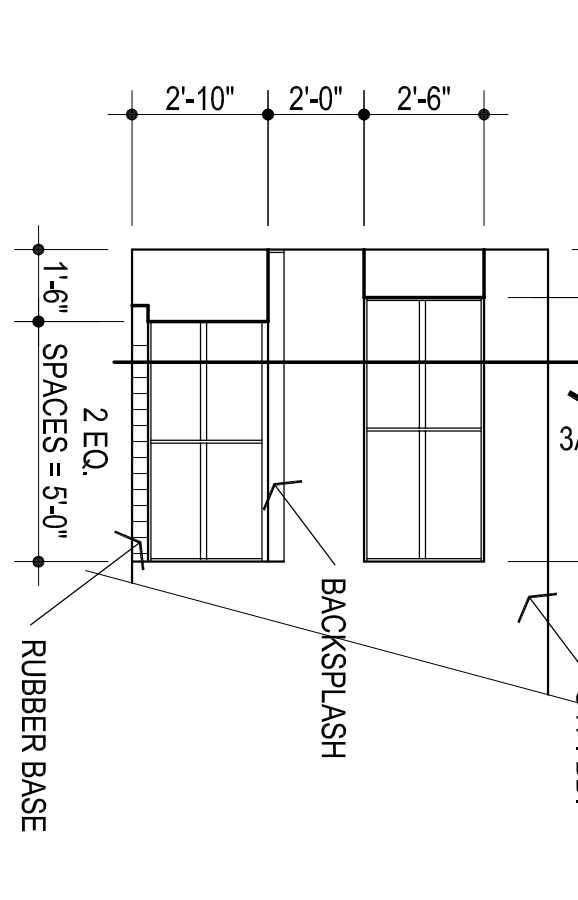
**8** S. WALL BUILDING 700 ROOM #703  
1/4" = 1'-0"



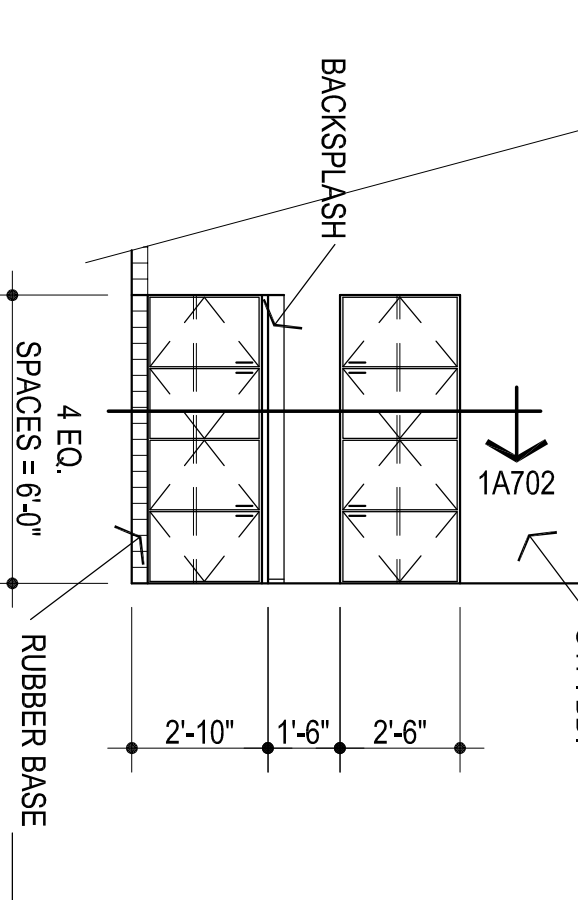
**9** W. WALL BUILDING 700 ROOM #704  
1/4" = 1'-0"



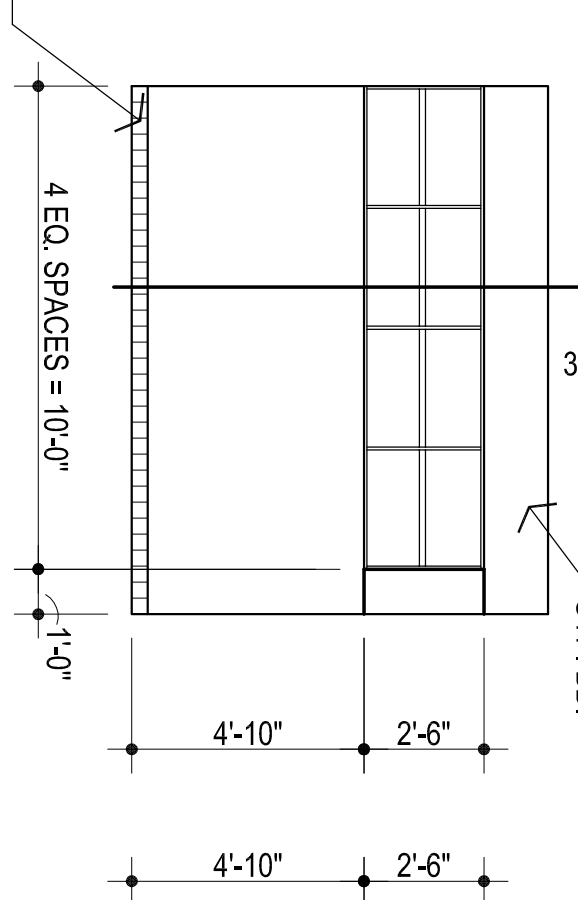
**11** S. WALL BUILDING 100 ROOM #109  
1/4" = 1'-0"



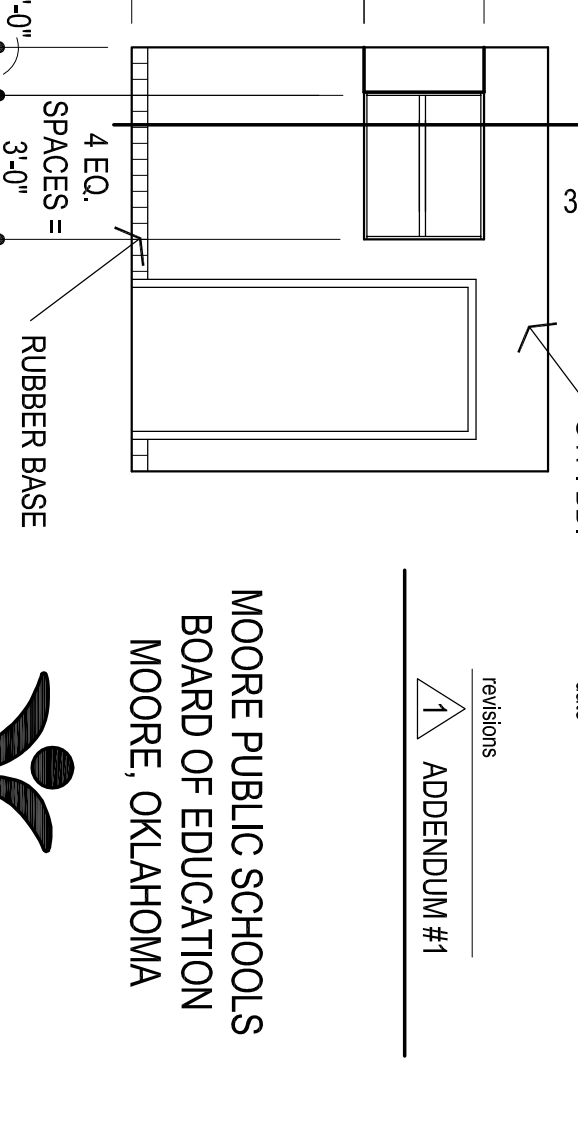
**12** W. WALL BUILDING 100 ROOM #109  
1/4" = 1'-0"



**13** E. WALL BUILDING 100 ROOM #110  
1/4" = 1'-0"



**14** W. & N. WALL BUILDING 100 ROOM #114  
1/4" = 1'-0"



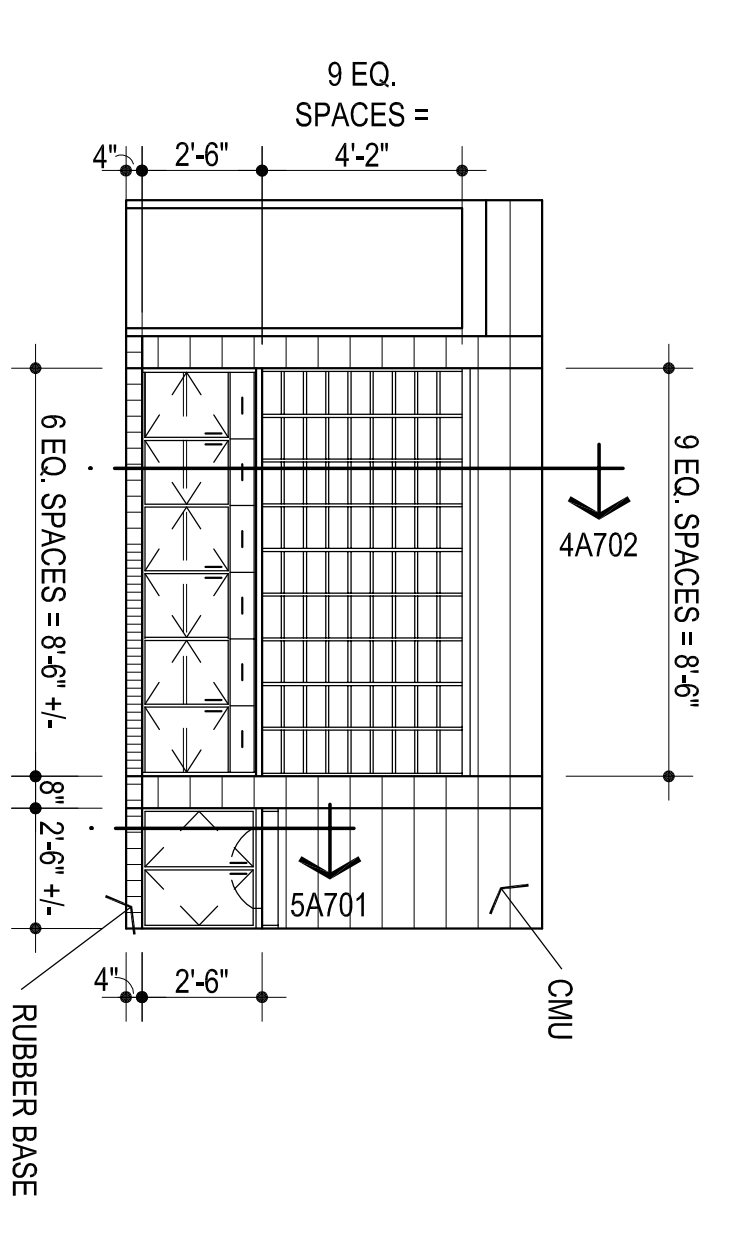
**15** N. WALL BUILDING 100 ROOM #106  
1/4" = 1'-0"

## 10 COLOR SCHEDULE

- PAINT:**
- 1 WALLS - FIELD: MATCH EXISTING
  - 2 SOLID SURFACE (COUNTERTOPS) : CORIAN - DEEP BEDROCK
  - 3 CARPET TILES: COORDINATE W/ OWNERS INSTALLER
  - 4 RUBBER WALL BASE: COORDINATE W/ OWNERS INSTALLER
  - 5 VINYL "T" EDGING: TO BE SELECTED FROM MFRS STANDARD COLORS
  - 6 MELANINE: WHITE
  - 7 PLASTIC LAMINATE (FACING AND EDGING) : WILSONART - MONTICELLO MAPLE
  - 8 LVT: COORDINATE W/ OWNERS INSTALLER

### PREFINISHED COLORS:

SINK - 34 TOTAL:  
EIKAY MODEL GDK4D251769C COUNTER MOUNTED PROVIDE  
ROUGH IN AS REQUIRED TO RECONNECT TO EXISTING SINK  
PACKAGE WITH LK0208513LC FAUCET LK35 DRAIN & LK114 BUBBLER  
PROVIDE MCGUIRE 8912 F-T-R-KAR 8121800C SUPPLY STOPS  
INSTALL THERMOSTATIC MIXING VALVE AS REQUIRED  
COORDINATE WITH ARCHITECT & OWNER.



**15** N. WALL BUILDING 100 ROOM #106  
1/4" = 1'-0"



CG  
drawn by  
MA  
checked by  
JANUARY 2024  
0818

revisions  
1 ADDENDUM #1

MOORE PUBLIC SCHOOLS  
BOARD OF EDUCATION  
MOORE, OKLAHOMA



SANTA FE  
ELEMENTARY SCHOOL  
2024 MILLWORK  
REPLACEMENT

Sheet No:  
**A401**

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