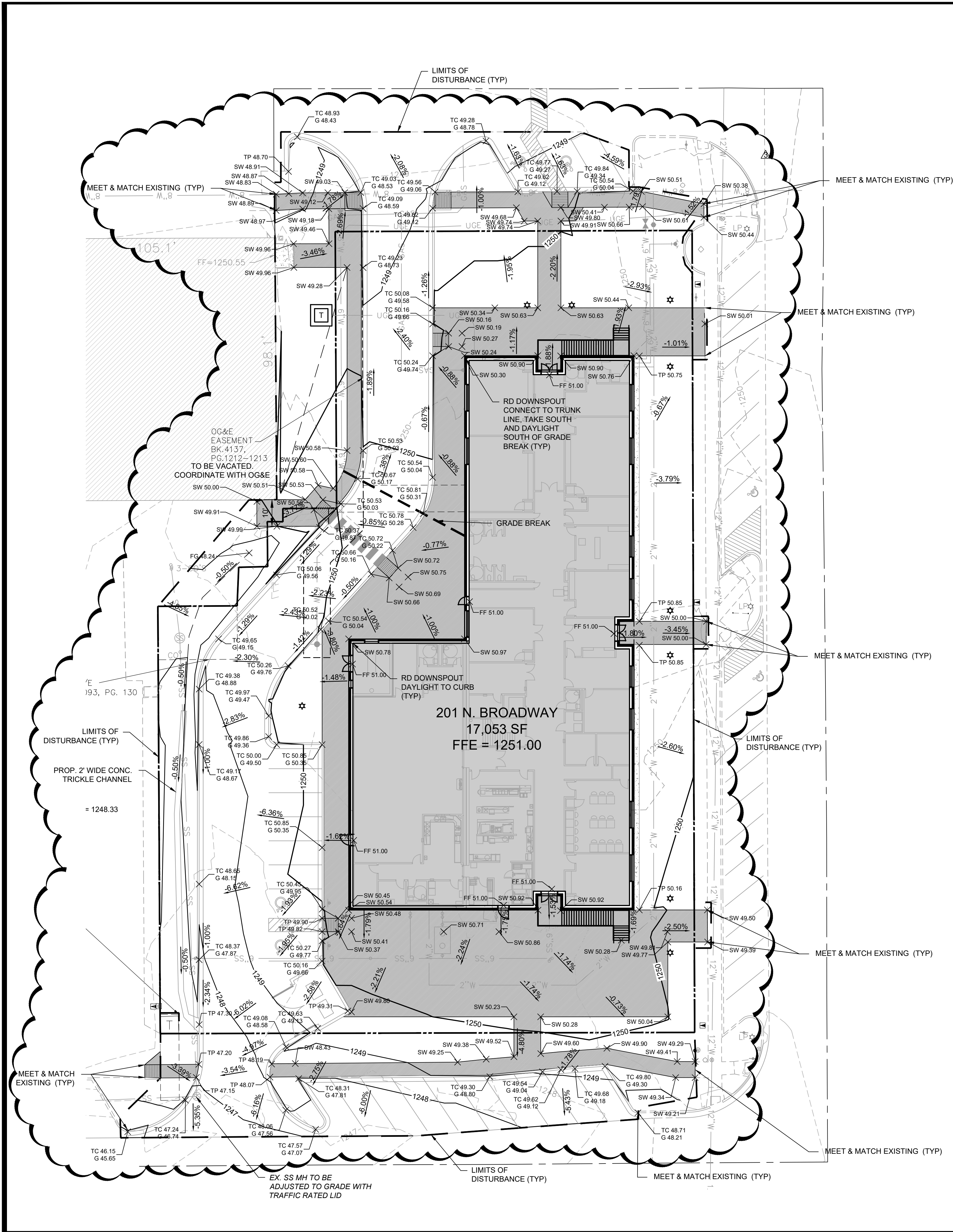




LEGEND

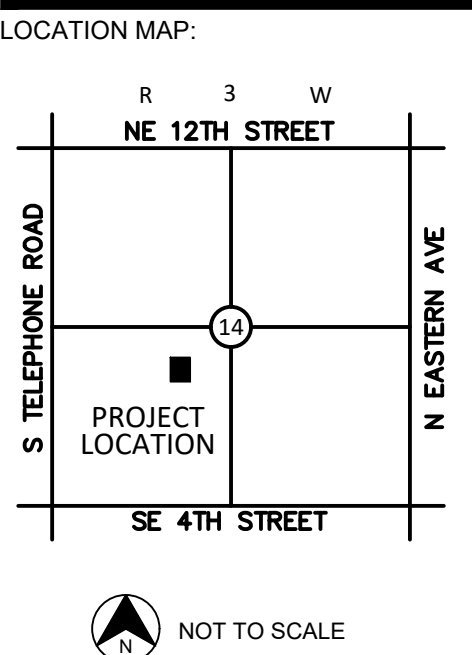
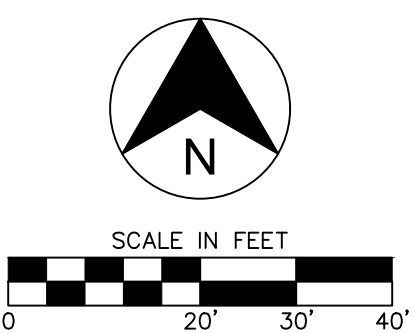
- EXISTING 1' CONTOUR
 - EXISTING 5' CONTOUR
 - PROPOSED 1' CONTOUR
 - PROPOSED 5' CONTOUR
 - BOUNDARY LINE
 - RIGHT OF WAY LINE
 - EASEMENT LINE
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB AND GUTTER
 - PROPOSED FIRE LANE STRIPING
 - OVERHEAD ELECTRIC LINE
 - UNDERGROUND ELECTRIC LINE
 - GAS LINE
 - UNDERGROUND TELEPHONE LINE
 - UNDERGROUND FIBER OPTIC LINE
 - SANITARY SEWER LINE
 - WATERLINE
 - RETAINING WALL
 - SCREEN WALL
 - WIRE FENCE
 - CHAIN LINK FENCE
 - BENCHMARK
 - OMIT GUTTER VALLEY
 - PROP. FIRE HYDRANT
 - PROP. WATER VALVE
 - PROP. WATER METER
 - PROP. ELECT. METER
 - PROP. LIGHT POLE
 - PROP. BOLLARD
 - PROP. TRANSFORMER
 - PROP. PARKING COUNT
 - PROP. WHEEL STOP
 - PROP. FES
 - PROP. HC RAMP
 - PROP. POWER POLE
 - PROP. SS MANHOLE
 - PROP. GAS METER
 - PROP. SIGN
 - PROP. INLETS (SEE GRADING PLAN FOR TYPE)
 - VERTICAL SEPARATION REQUIREMENT
- *NOTE: REFER TO SURVEYING LEGEND FOR EXISTING STRUCTURES IDENTIFICATION

GRADING NOTES

- CONTRACTOR SHALL REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT FOR EXISTING SOIL CONDITIONS, CONSIDERATIONS, AND RECOMMENDATIONS.
- CONTRACTOR SHALL REFER TO THE CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE WRITTEN SPECIFICATIONS, CONSTRUCTION DRAWINGS, STORM WATER POLLUTION PLAN, AND GEOTECHNICAL REPORT.
- CONTRACTOR IS RESPONSIBLE FOR THEIR OWN HORIZONTAL AND VERTICAL CONTROL, REFERENCE POINTS AND CONSTRUCTION STAKING AS INCIDENTAL TO THE PROJECT.
- THE CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS/PROPERTY LINES/UTILITIES/DRAINAGE PRIOR TO CONSTRUCTION START.
- ALL SITE EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED EXCAVATION.
- GENERAL CONTRACTOR TO PROVIDE A UNIT PRICE FOR REMOVAL AND REPLACEMENT OF SOILS ON THIS SITE SHOULD REMOVAL BE REQUIRED.
- ALL WORK NOT CLASSIFIED AS A CONTRACT PAY ITEM SHALL BE CONSIDERED AS INCIDENTAL AND THE COST THEREOF SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS WHICH ARE CLASSIFIED FOR PAYMENT.
- CONTRACTOR SHALL PROVIDE FINAL GRADES THAT DO NOT OBSTRUCT ANY UTILITY ACCESS AND PROVIDE A SMOOTH TRANSITION TO MEET AND MATCH EXISTING GRADES ON ALL SIDES.
- ADA ROUTES ARE NOT TO EXCEED 1:20 RUNNING SLOPE AND 2% CROSS SLOPE. HANDICAP PARKING AND ACCESS AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION.
- ALL NATURAL GROUND SLOPES SHALL NOT EXCEED 3:1. PAVING SLOPES SHALL NOT EXCEED 8%.
- CONTRACTOR SHALL ENSURE THAT ALL NECESSARY EARTH DISTURBING PERMITS HAVE BEEN ACQUIRED AND MEET THE CONDITIONS/REQUIREMENTS SET FORTH IN THE PERMITS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS REQUIRED TO CALL ONE CALL AS WELL AS THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION/CONSTRUCTION ACTIVITIES TAKE PLACE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH ARE IN CONFLICT WITH PROPOSED IMPROVEMENTS.
- THE CONTRACTOR SHALL GRADE SITE TO ENSURE ALL SURFACE WATER DRAINAGE IS AWAY FROM THE BUILDING AND PROVIDES POSITIVE DRAINAGE SO THAT NO STANDING/PONDING WATER TAKES PLACE ON SITE OR ON ADJACENT PROPERTIES.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE OWNERS DESIGN GUIDELINES AND SPECIFICATIONS, AND WHERE APPLICABLE SHALL MEET THE REQUIREMENTS OF THE GOVERNING/PERMITTING AUTHORITY HAVING JURISDICTION.
- THE BUILDING SUBGRADE SHALL BE CONSTRUCTED TO INCLUDE A MINIMUM OF 10 FEET BEYOND THE BUILDING LIMITS AS SHOWN ON THE PLANS, OR AS DIRECTED BY THE OWNER.
- REFERENCE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR REQUIRED FLOOR SLAB THICKNESS.
- THE BUILDING PAD SUBGRADE SHALL BE PREPARED IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING STUDY AND THE CIVIL SPECIFICATIONS.
- ESTABLISH FINAL SUBGRADE ELEVATIONS TO ALLOW FOR PAVEMENT/SLAB SECTIONS AS INDICATED ON THE PLANS.
- IF CONFLICTS EXIST BETWEEN THE GEOTECHNICAL REPORT AND THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.

SPOT ELEVATION LEGEND

- TC - TOP OF CURB
- G - GUTTER
- TP - TOP OF PAVEMENT
- HP - HIGH POINT
- LP - LOW POINT
- SW - SIDEWALK
- FF - FINISH FLOOR
- FG - FINAL GRADE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- NOTE: BW IS BOTTOM OF WALL AT GRADE, NOT FOOTING
- VERTICAL SEPARATION REQUIREMENT



PROJECT: **201 N. BROADWAY**

MOORE, OK

PROJECT NUMBER: 25144

DRAWING DATE: 05.28.26

ISSUE DATE: 05.28.26



SUBMITTAL: **PERMIT SET**

REVISIONS:		
△	04.13.26	ADDENDUM 02
△	06.28.26	ADDENDUM 03
	6/16/2026	CB02

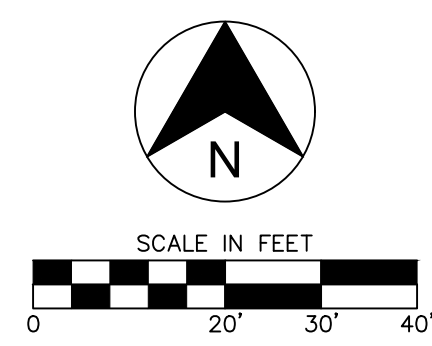
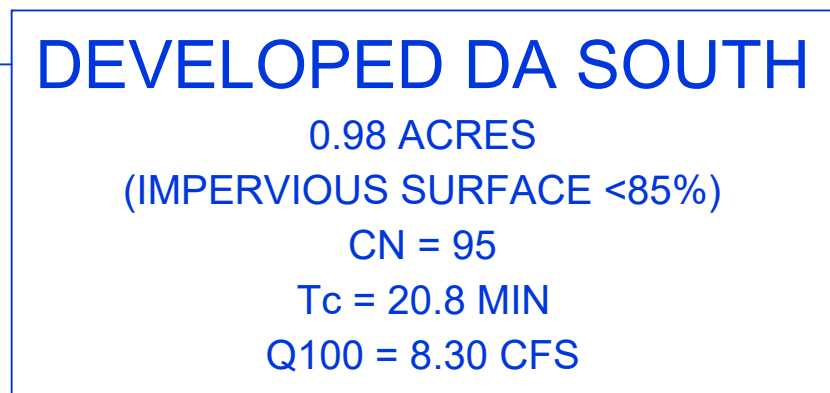
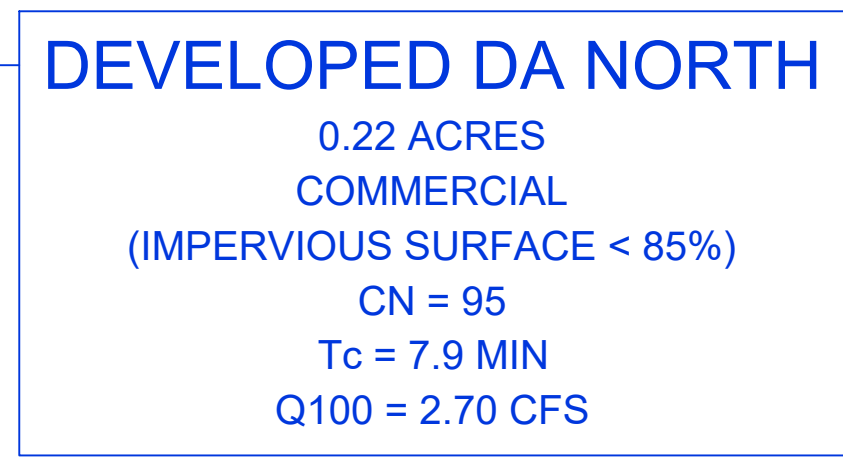
MARK	DATE	DESCRIPTION
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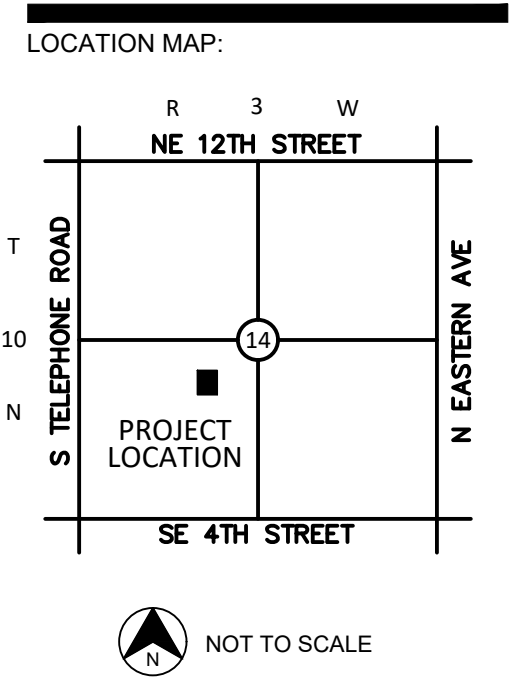
GRADING PLAN

SHEET: **C4.00**



LEGEND

	EXISTING INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	PROPOSED INDEX CONTOUR
	TO PATH (OVERLAND)
	TO PATH (CHANNELIZED)
	HISTORIC DRAINAGE AREA
	PROPOSED DRAINAGE AREA



PROJECT:

201 N.
BROADWAY

MOORE, OK

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SUBMITTAL:

PERMIT SET

[illegible]

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DRAWING TITLE:

DA
DEVELOPED

SHEET: C4.02